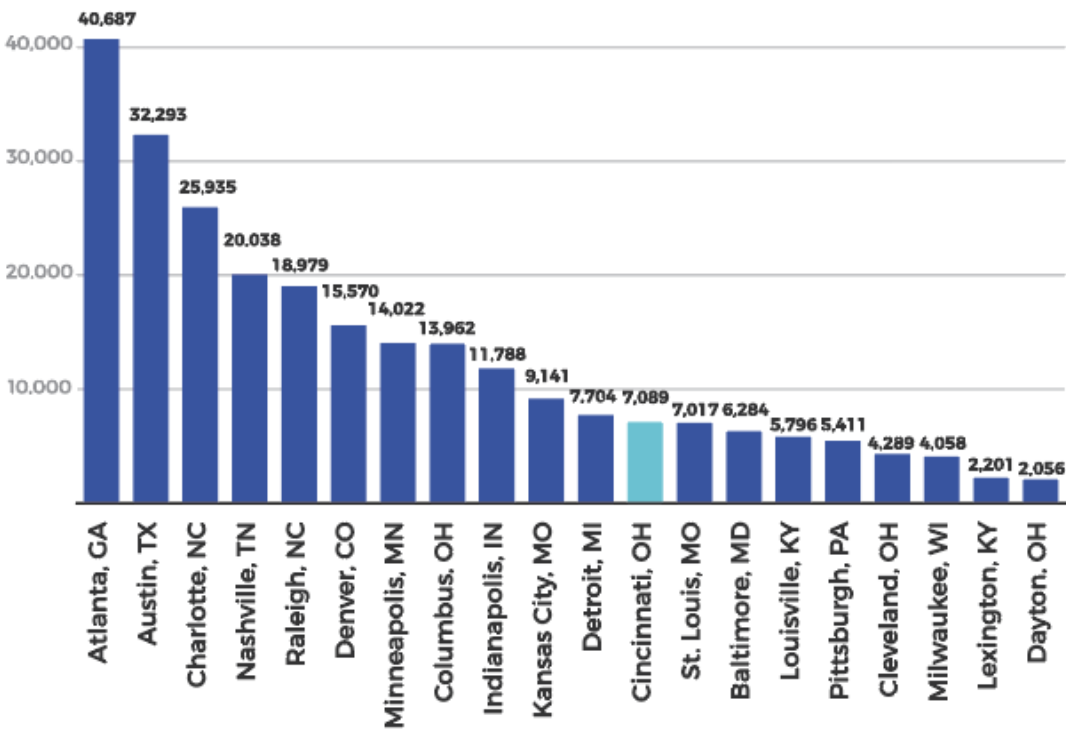




1. We need a yes-to-all approach throughout the region that embraces growth.
2. Our region needs to ramp up housing production to catch up with peer and competitive regions.
3. Dense housing is key. It should be a priority everywhere, especially near job hubs.
4. Our region's zoning and development policies are obstacle to housing growth rather than a tool to address it.
5. The core must lead the way for broad regional growth, but every community has a vital role to play.
6. Issues of affordability are not unique to Cincinnati, but there are unique opportunities for Cincinnati to address affordability.
7. Affordable housing is not an issue for one jurisdiction to address.
8. Market-rate development is not the enemy of affordability.

RESIDENTIAL BUILDING PERMITS

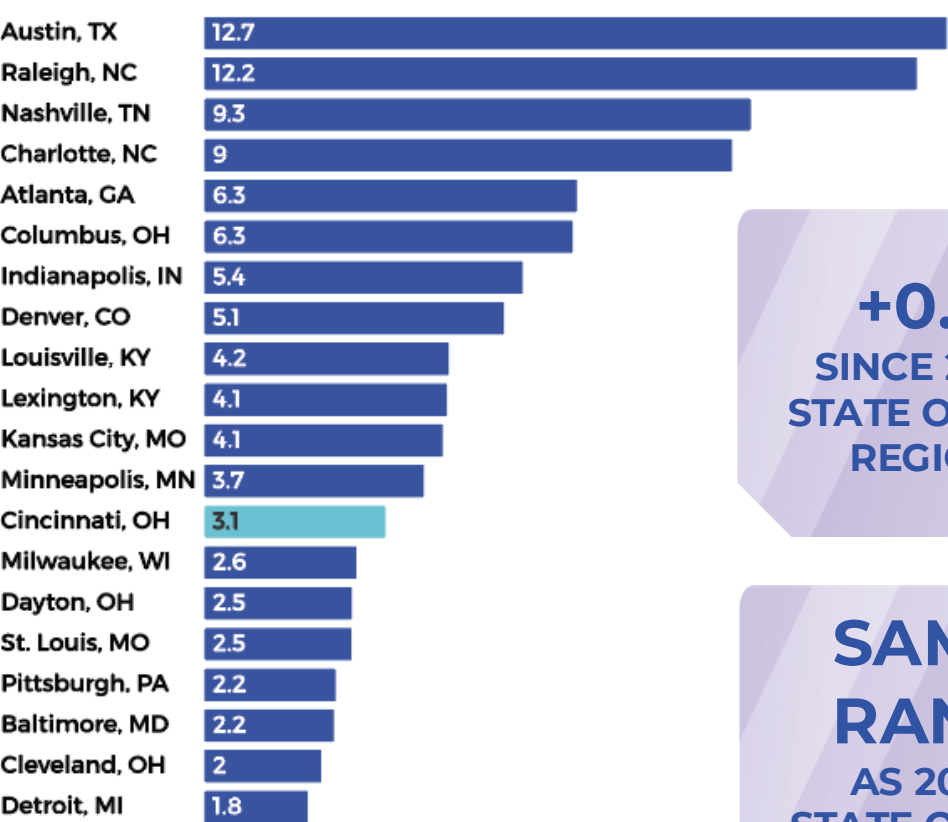
TOTAL PERMITS: PEER COMPARISON



+902
SINCE 2024 STATE
OF THE REGION

+4 RANK
SINCE 2024 STATE
OF THE REGION

BUILDING PERMITS PER 1K POPULATION

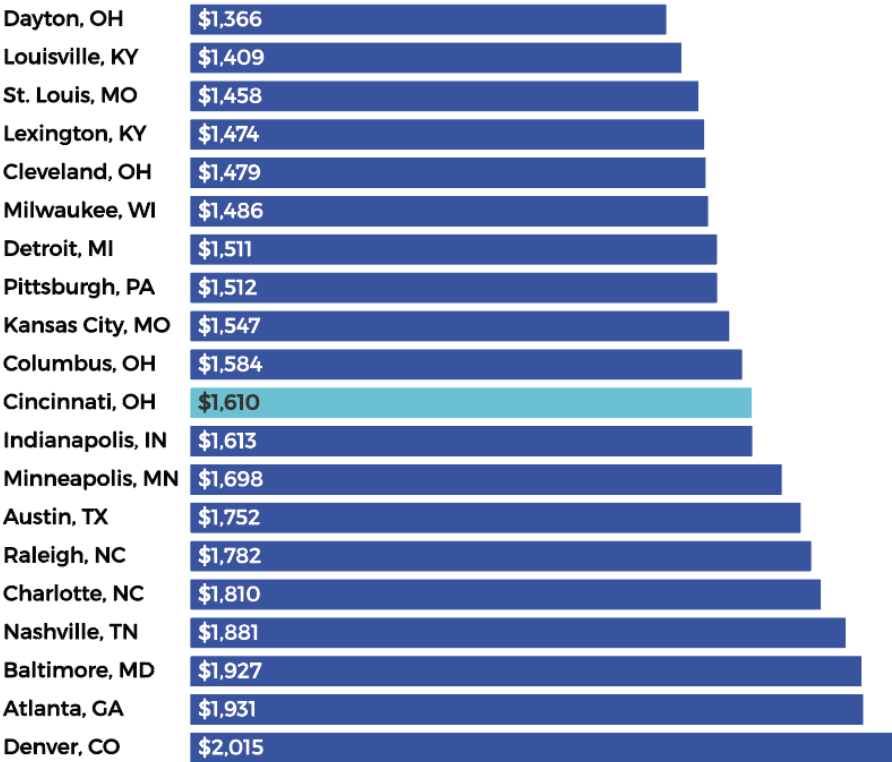


+0.4
SINCE 2024
STATE OF THE
REGION

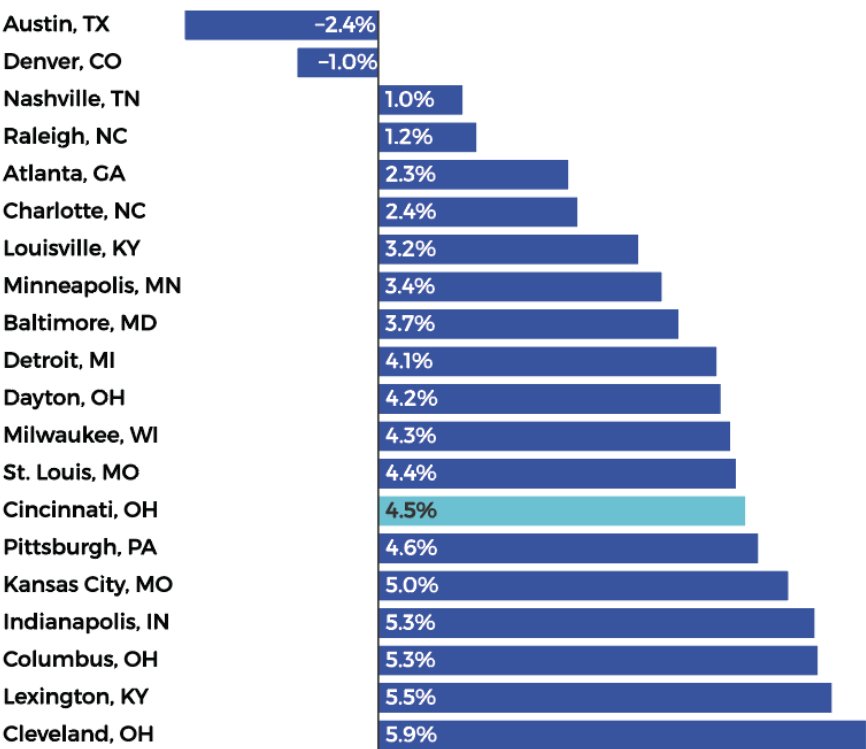
**SAME
RANK**
AS 2024
STATE OF THE
REGION

RENT

TYPICAL MONTHLY RENT (2025)



TYPICAL MONTHLY RENT CHANGE - PAST YEAR



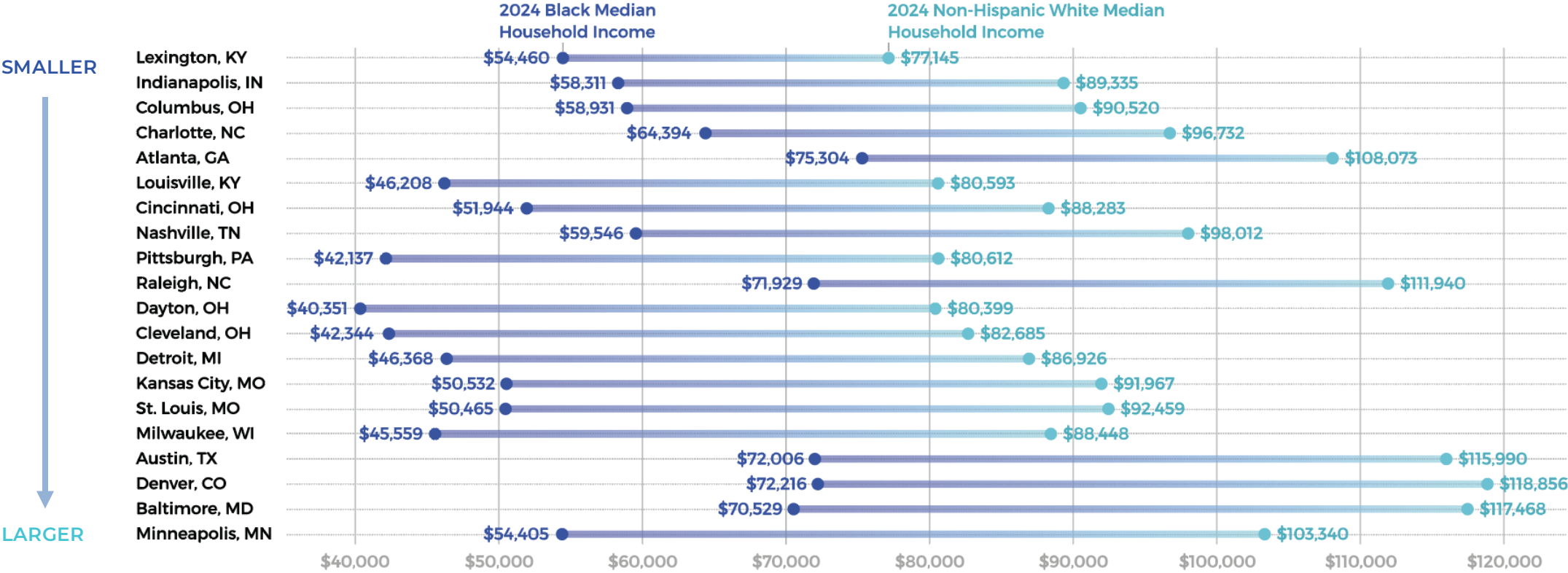
+\$68
SINCE 2024 STATE
OF THE REGION

**PASSED
COLUMBUS**

5.2%
IN 2024 STATE
OF THE REGION

**AUSTIN SEES 2ND
YEAR OF DECLINE**

RACIAL INCOME GAP



+\$3,479
BLACK MEDIAN
HOUSEHOLD INCOME
2-YEAR CHANGE

+\$2,121 GAP
2-YEAR CHANGE

+8 RANK
SINCE 2024
STATE OF THE REGION